



# THE GOODSYARD

Design and Access Statement

September 2019 - Part 10 of 21



ballymore.



# 5.6 PLOT 5

All of the information within this section is part of the outline application as is therefore illustrative; the section does demonstrate one way in which a proposed scheme could come forwards in the future as a reserved matters application, guided by the Design Guide and plot parameters.

## 5.6.1 Plot Brief and Quantum

The illustrative proposed development of plot 5 creates up to 84 residential units in three blocks between the Goodsyrd boundary wall and the East London Line.

To the north of the boundary wall the Weavers Cottages will be restored and extended into a co-working office space.

The Victorian Building will be two apartments above ground floor retail units

The Mission Hall will be used as a retail/ restaurant unit, linked through the boundary wall with a retail unit within the apartment building.

The residential buildings will accommodate retail units and a doctors' surgery.

The adjacent tables (Table 5.6.1 and Table 5.6.2) show the proposed maximum and minimum gross external areas and residential unit numbers (Table 5.6.3 and Table 5.6.4).

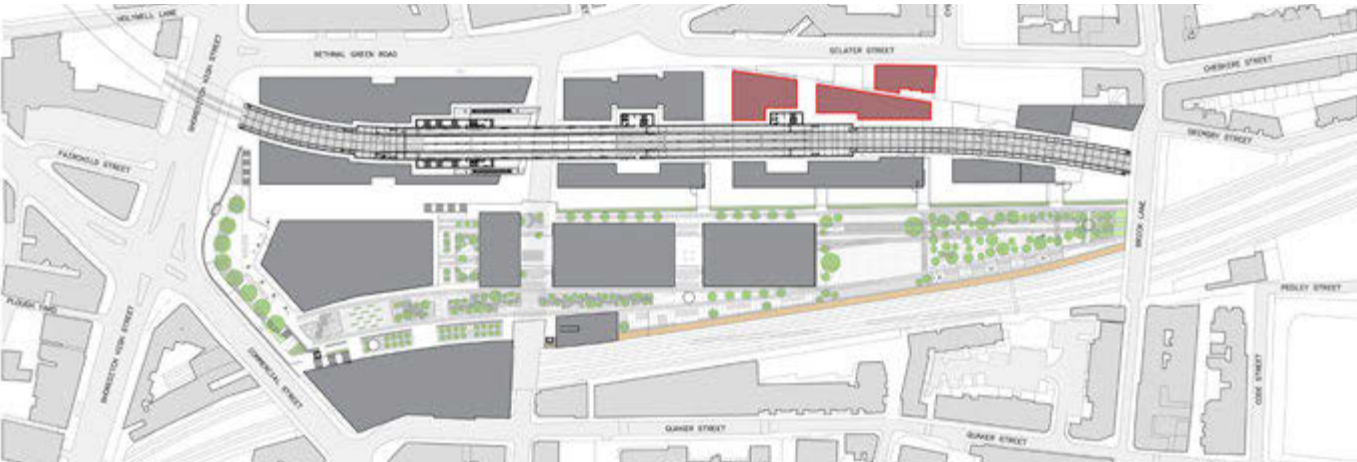


Fig 5.6.1: Plot location plan

Level	Retail GEA m <sup>2</sup>	Office GEA m <sup>2</sup>	Residential GEA m <sup>2</sup>	D1/D2 GEA m <sup>2</sup>	Plant / Ancillary / Service GEA m <sup>2</sup>	Total GEA m <sup>2</sup>
Total	1,004	521	9,518	315	1,292	12,650

Table 5.6.1: Plot 5 maximum GEA

Level	Retail GEA m <sup>2</sup>	Office GEA m <sup>2</sup>	Residential GEA m <sup>2</sup>	D1/D2 GEA m <sup>2</sup>	Plant / Ancillary / Service GEA m <sup>2</sup>	Total GEA m <sup>2</sup>
Total	1,004	521	7,615	315	1,263	10,718

Table 5.6.2: Plot 5 minimum GEA

Maximum Residential Units	1	2	3	4	Total
Total number units	38	23	21	2	84
Habitable rooms per unit	76	69	105	12	262

Table 5.6.3: Plot 5 maximum number of residential units

Minimum Residential Units	1	2	3	4	Total
Total number units	26	15	15	2	58
Habitable rooms per unit	52	45	75	12	184

Table 5.6.4: Plot 5 minimum number of residential units



### 5.6.3 Sclater Street Historic buildings

Sclater street was as the heart of the Spitalfields silk weaving district, built to house migrant Huguenots in the late seventeenth century.

The Weavers Cottages are last three remaining buildings in what was once a terrace of houses that were used for silk production. The houses themselves are of a simple design with little decoration. The cottages are in poor condition due to fire damage. The external walls and some internal features survive, although much work is needed to restore these buildings.

Weavers Cottages



Fig 5.6.3: Sclater street historic buildings elevation



Victorian Building

Mission Hall



#### 5.6.4 The Mission Hall (existing refurbishment)

A twentieth century brick wall that screens the Mission Hall off from Slater Street will be removed to give more prominence to the building on the street.

The Mission Hall is proposed to be a café connected to a larger retail unit through the existing Goodsyard boundary wall in one of the new buildings.

Brickwork will be repaired, slate roof coverings will be reinstated and historic window openings will be reopened and glazed.

New, large openings will be created to the East and West of the hall to create entrances and improve the building's connectivity to the street.

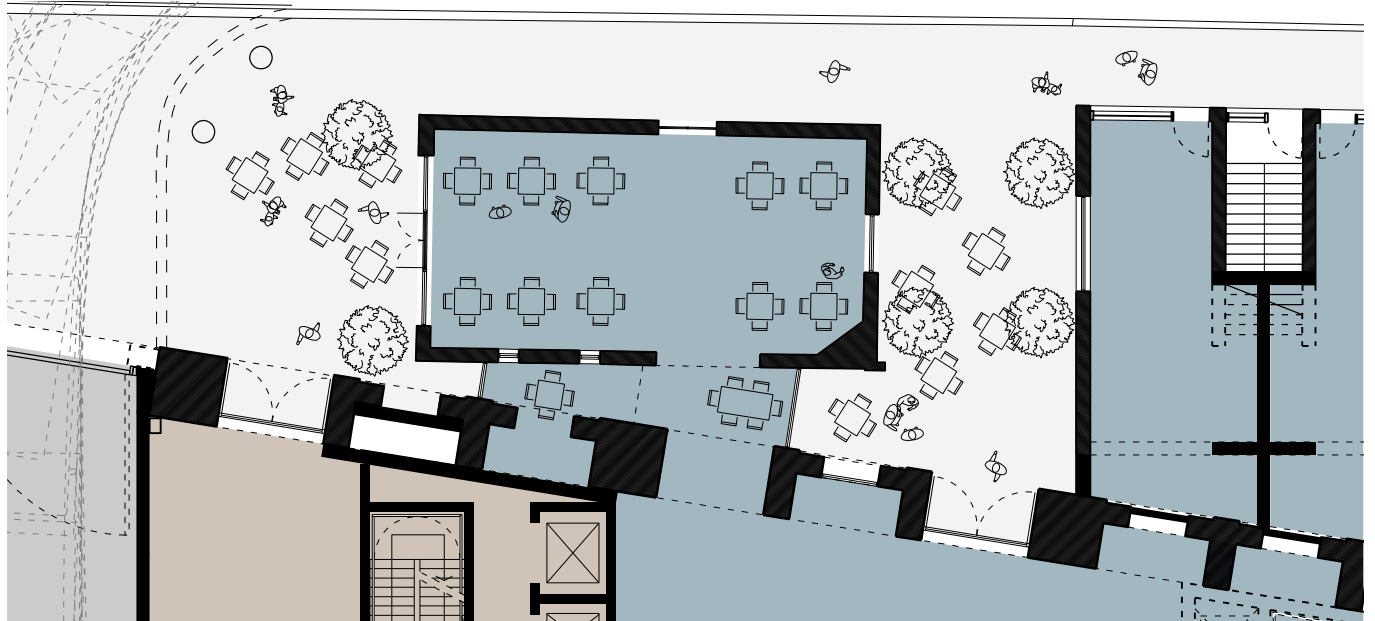


Fig 5.6.4: Mission Hall - Plan



Fig 5.6.5: Mission Hall - view coming from Shoreditch High street station



Fig 5.6.6: Key





Fig 5.6.7: Concept sketch of the prominence given to Mission Hall on Sclater street



Fig 5.6.9: Mission Hall - Photograph of existing iron roof structure



Fig 5.6.8: Photograph of the existing 20th century wall screening the Mission Hall off from Sclater street



Fig 5.6.10: Mission Hall - Photograph of existing internal features

### 5.6.5 Victorian Building (existing refurbishment)

This building is proposed to be two residential units above two shop units on ground floor level.

Unsympathetic, modern extensions to the rear and west side of the building will be removed.

The building will be reconfigured internally so that the residential units are each over three floors, rather than lateral apartments.

The historic fabric of the building will be repaired and any inappropriate drainage removed. The gable wall of the building will be repaired and rebuilt, with some new window openings inserted as needed.

The Victorian shop fronts will be restored using existing shopfronts to the east of Sclater Street and Brick Lane as precedent.

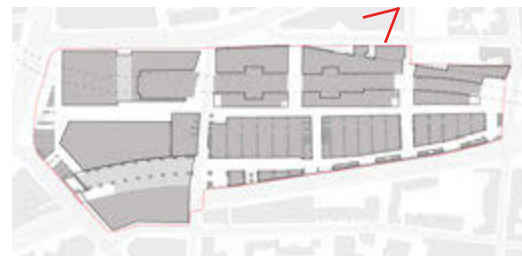
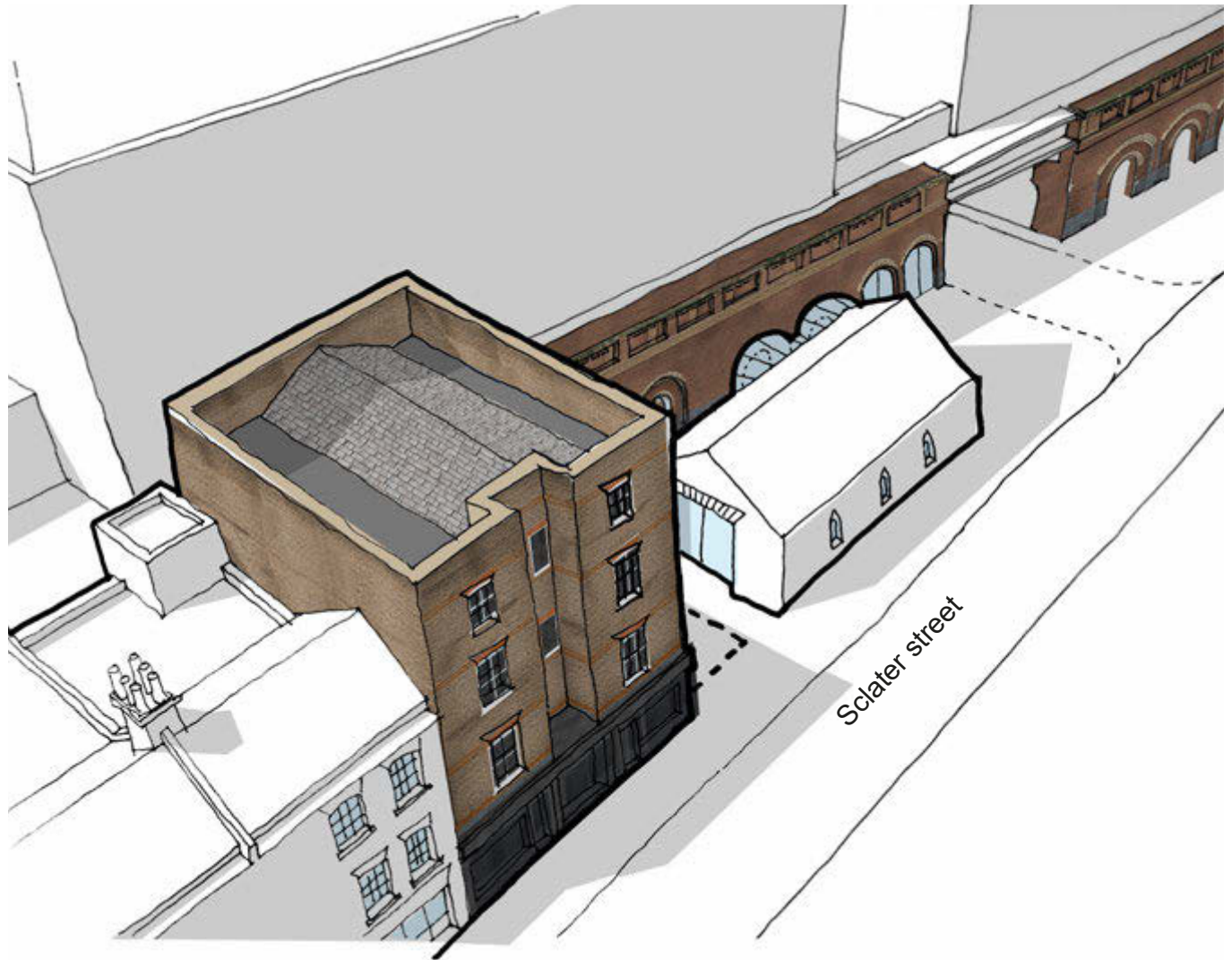


Fig 5.6.12: Key

Fig 5.6.11: Concept sketch of restored Victorian Building





Fig 5.6.13: Photograph of existing rear elevation

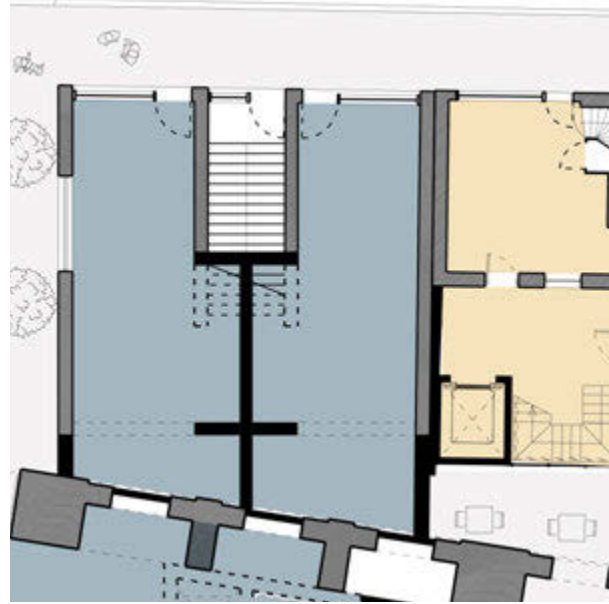


Fig 5.6.15: Victorian Building - Ground floor plan

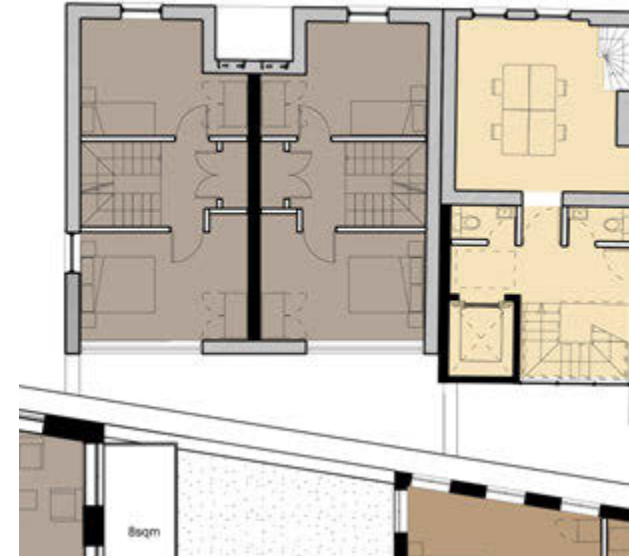


Fig 5.6.17: Victorian Building - Third floor plan



Fig 5.6.14: Photograph of existing unsympathetic side extension on Sclater Street

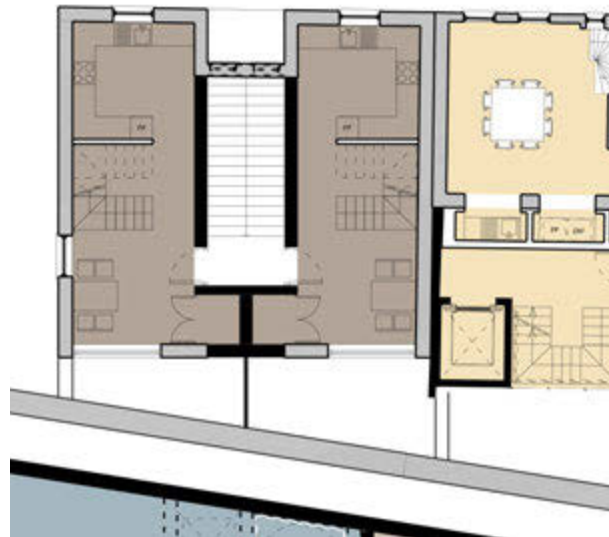


Fig 5.6.16: Victorian Building - First floor plan

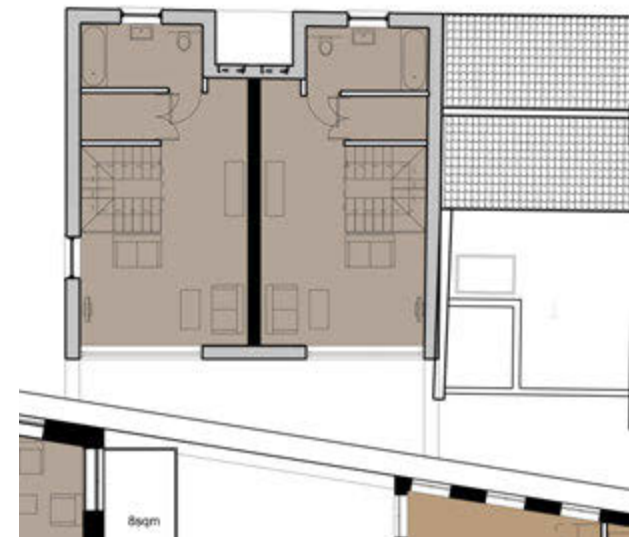


Fig 5.6.18: Victorian Building - Second floor plan

### 5.6.6 Weavers Cottages (existing refurbishment)

The cottages were built to be one room deep with small outrigger to the rear. The buildings today are derelict, having been badly damaged by a fire some years ago.

The Weavers Cottages are proposed to be restored and extended to the rear to create a co-working office space.

A structural condition survey of the buildings indicates that main body of the houses can be restored but that the outriggers may be beyond repair due to structural issues.

Where possible original features such as roof structures, brick arches, party walls, staircases, fireplaces and chimney pots, will be repaired and reinstated.

The rear outriggers will be taken down and replaced with a modern, three storey, glazed extension. The glazing will be small pane, crittall type glazing, to reflect the scale of the building.

This extension will contain the services for the offices, a lift, WCs, allowing the rooms in the main house to retain their original proportions and character.

76 Sclater Street, a vacant site directly to the east of the cottages, will become a gateway building, giving access to The Goodsyrd development behind.

The gateway building will be clad in corten steel to compliment and contrast with the brickwork of the cottages. It will provide meeting spaces for the offices.



Fig 5.6.19: Photographs of existing cottages



Fig 5.6.20: Weavers Cottages - Proposed front elevation

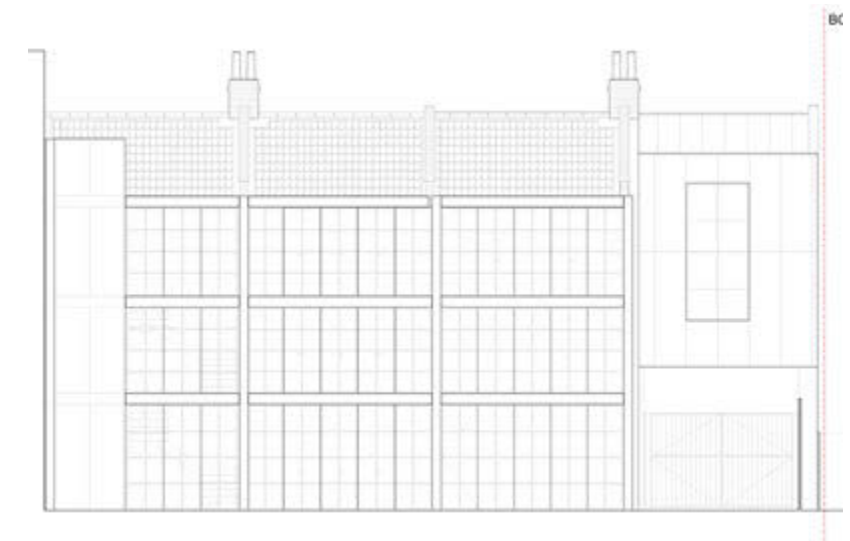


Fig 5.6.21: Weavers Cottages - Proposed rear elevation





Fig 5.6.22: Weavers Cottages - Proposed 3D view

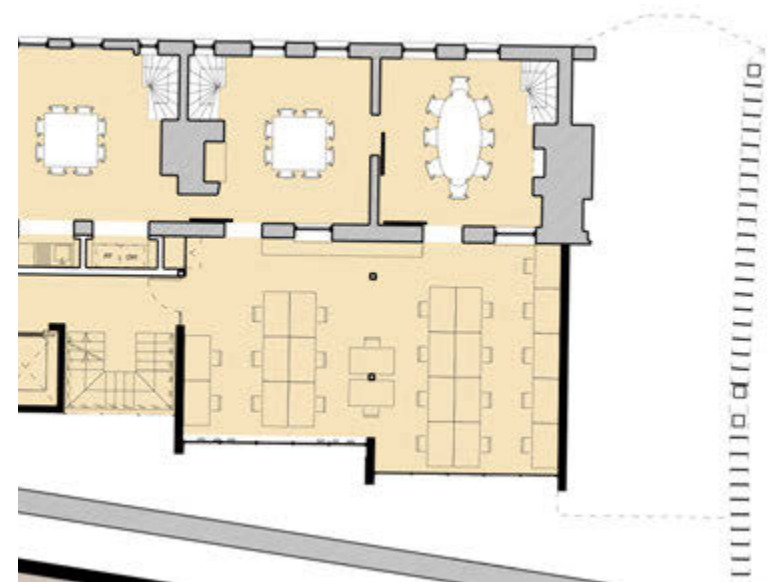


Fig 5.6.24: Weavers Cottages - Proposed First floor plan

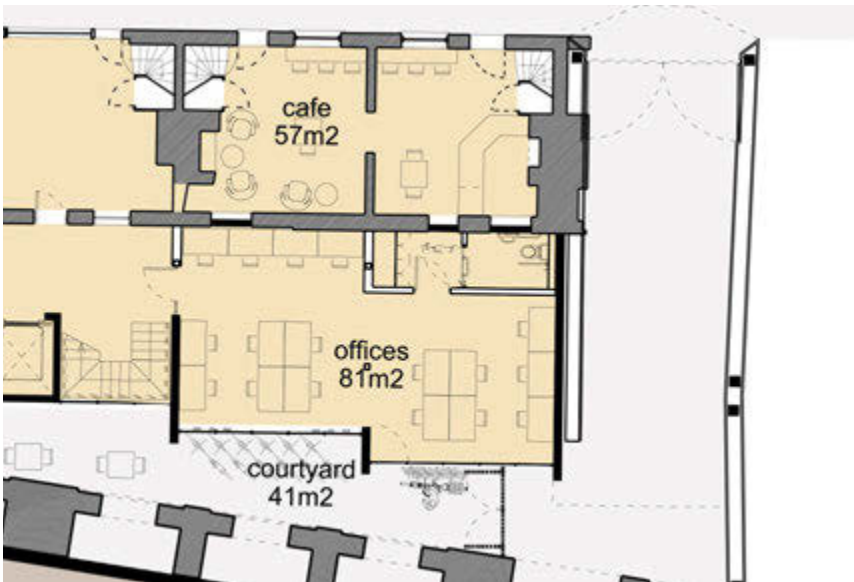


Fig 5.6.23: Weavers Cottages - Proposed Ground floor plan

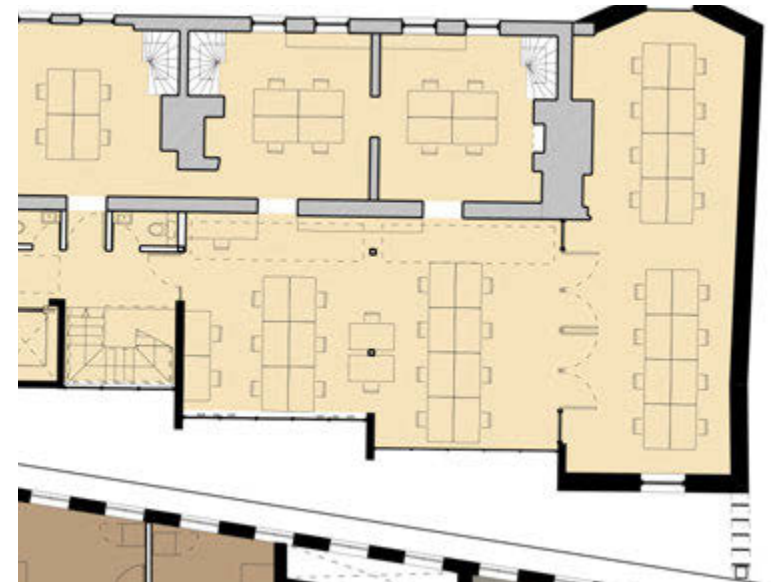


Fig 5.6.25: Weavers Cottages - Proposed Second floor plan



### 5.6.7 Conceptual Approach - Massing (new build)

Plot 5's massing mediates between the Victorian scale of Brick Lane to the east and the taller, city scale of Bethnal Green Road to the west

The plot's massing responds to this by placing all new buildings behind the boundary wall and breaking the plot up into three blocks that respond to the rhythm of Sclater Street.




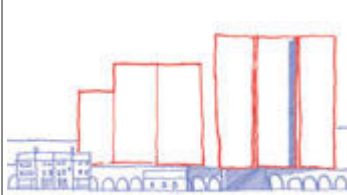
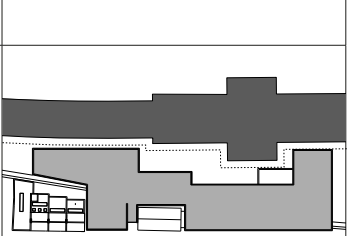
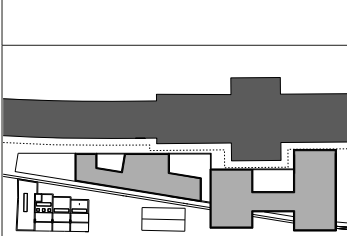
To accommodate a large number of apartments on a small, constrained plot taller buildings are inevitable.

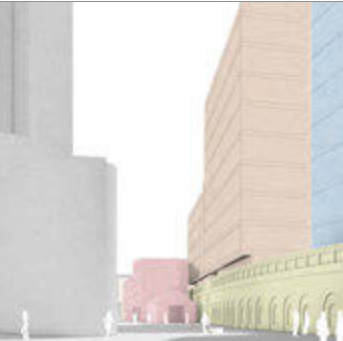
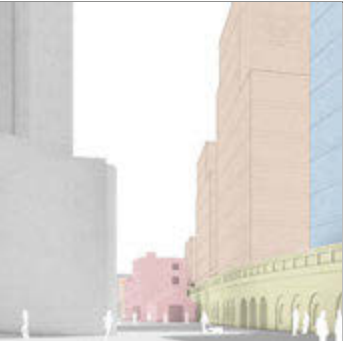

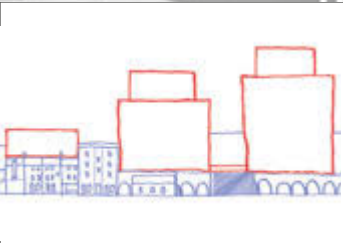
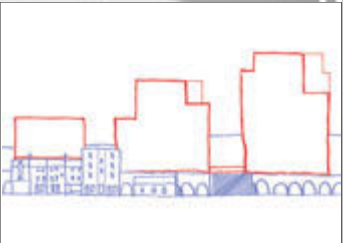

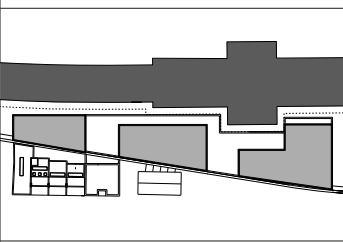
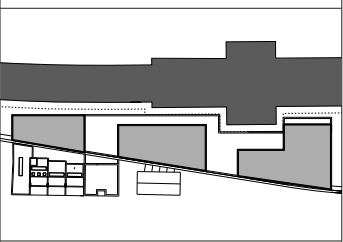
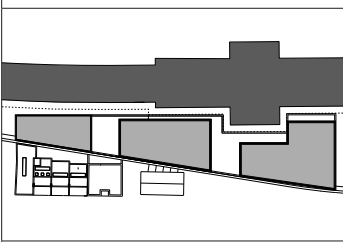
We have broken the residential building down into three separate blocks of differing heights.

The 3 blocks increase in height towards the west. The scale of the two larger blocks is broken down by splitting the facades into 2 sections, based on the proportions of a Shoreditch furniture warehouse.

The broken, stepped massing gives Sclater Street a human scale, allowing views through the plot and improving the public realm.

The diagrams on this page illustrate how the massing has developed throughout the design development stage, and how we have addressed the plot's context and responded to feedback from stakeholders.

3D Mass		
Elevation		
Plan		
Description and Analysis	<p><b>Masterplan parameters</b></p> <p>The residential building extends to the Sclater street facade line.</p> <p>Large section of the boundary wall demolished.</p> <p>Victorian Building demolished and replaced.</p>	<p><b>Step 1</b></p> <p>Emphasis is given to the relationship of the new buildings with Sclater street and the boundary.</p> <p>Residential accommodation is split into two separate blocks to lessen their impact on Sclater street. The new buildings are given a stepped massing, reflecting the change in scale between brick lane and Bethnal Green Road.</p> <p>Residential buildings project over the boundary wall to reveal the Mission Hall as street focal point.</p>
Unit Numbers	80	90
AOD Max Height	50.00m	63.25m

		
		
		
<p><b>Step 2</b></p> <p>Existing Victorian Building retained.</p> <p>Residential buildings are moved entirely behind the boundary wall. Their massing is broken down further to accommodate the Victorian Building. The buildings are given set back upper floors to make them less dominant on Slater Street.</p> <p>Creating 3 residential buildings improves the outlook of the residential units with most getting dual aspect.</p>	<p><b>Step 3</b></p> <p>The building increases in height to increase the number of apartments.</p> <p>The upper levels of the plot are broken down further to create a more varied massing and create a visual connection between the buildings.</p>	<p><b>Step 4</b></p> <p>The residential optimisation study results in an increase in numbers and height across the plot.</p> <p>The massing of the two taller blocks are refined to reflect the massing of Shoreditch furniture warehouses. The steps in each block help to break up the street facade and create more vertical emphasis in the buildings.</p>
<p>51</p>	<p>57</p>	<p>up to 84</p>
<p>56.70m</p>	<p>56.70m</p>	<p>60.50m</p>

residential optimisation study

### 5.6.8 Creating an Identity for Each Block

Each block has been given a name to create an identity for the buildings within the wider masterplan and the existing streetscape. The names chosen have been inspired by places that supplied goods into Bishopsgate Goods Yard.

Bishopsgate station was developed into a goods station between 1878 and 1880. As a goods depot, it handled large volumes of goods coming from overseas via the eastern ports, predominantly those in East Anglia. We have named our blocks after some of the rivers these ports are located on. The lengths of the rivers are reflected in the size of the buildings.

Our smallest block is named for the river Blyth, which is 30 miles long and is home to the port of Southwold. The middle block is named for the river Stour which is 76 Miles and is home to the port of Harwich. The largest block is named for the river Waveney which is 95 miles and is home to the port of Lowestoft.

Giving each block a unique identity allows us to create unique characters for each building.



Fig 5.6.26: Creating an identity for each block

### 5.6.9 Strategic Plot Layout

The plot layout is driven by the existing constraints as well as the masterplan needs.

The new buildings' footprints are set behind the existing north boundary wall. A section of wall will be removed to accommodate the service yard entrance, serving the east part of the masterplan.

The plan steps in to the south to follow the 2m exclusion zone around the London Overground and the potential future escape stair from Shoreditch High Street Station.

By keeping the footprint of the plot behind the existing boundary wall, Plot 5 will benefit from a larger, more welcoming public realm. This makes it well suited for commercial use at ground floor.

### 5.6.10 Access and Servicing

Each new residential building is accessed by residents via its own lobby at ground level (connected to vertical circulation cores). The two larger blocks are directly accessed off Sclater Street through the existing north boundary wall. The smaller building is accessed off the Cygnet Lane through the new gateway building.

The historic buildings are all accessed off Sclater Street.

Service access to Plot 5 is via the shared service yard located on the plot.

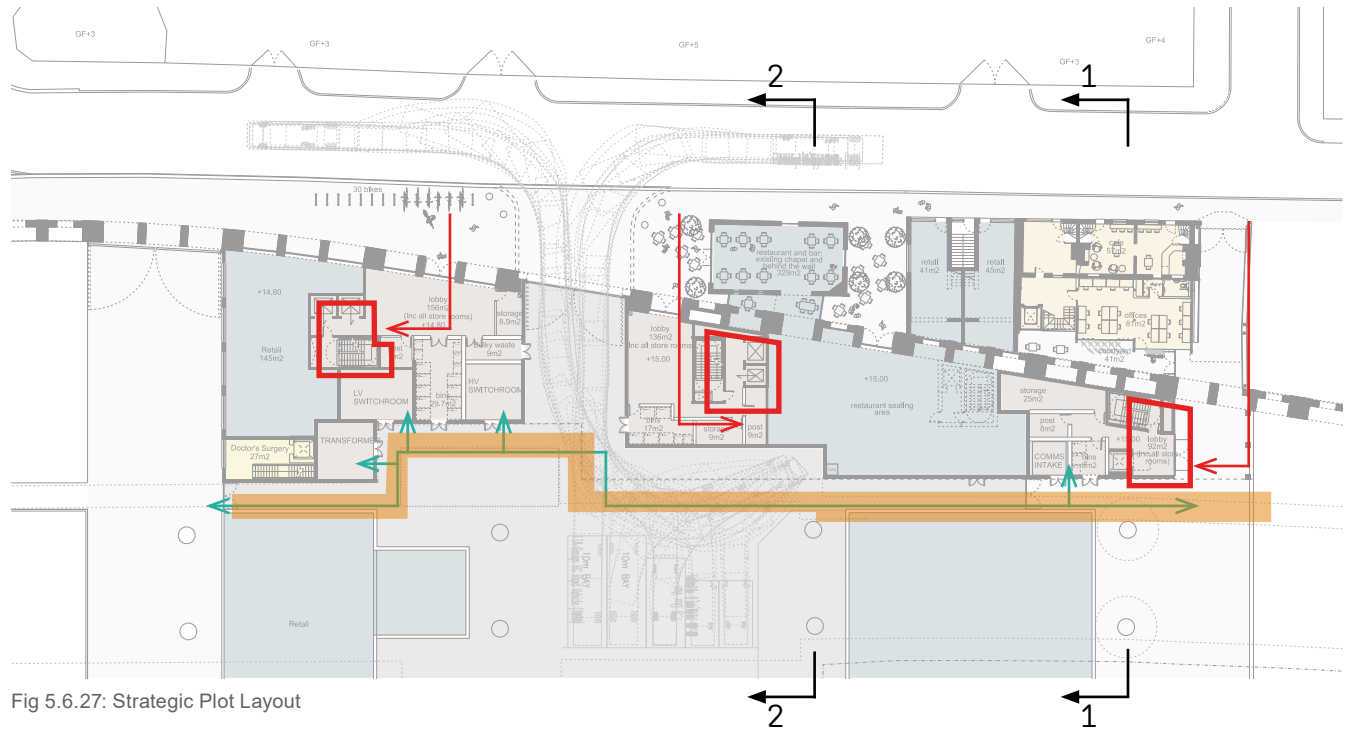


Fig 5.6.27: Strategic Plot Layout



Fig 5.6.28: Plot Section 1-1



Fig 5.6.29: Plot Section 2-2



## 5.6.11 Strategic Internal Layout

Dividing the plot up into three blocks that respond to the rhythm of Sclater Street also allows us to improve the outlook of the residential units with most getting dual aspect.

Each building is organised around a central core with its own entrance a ground floor to increase a sense of local community.

This allows the plan to accommodate high quality, dual to triple aspect apartments. On the lower levels the bedrooms are to the South (facing the Overground viaduct) and to the North, with living spaces to the East and West. The upper floors are re-arranged to provide more South facing apartments.

At first floor where the building overlooks the London Overground escape stair to the south and sits behind the blind part of existing boundary wall, accommodation is given over to ancillary spaces such as plant, commercial back of house space and cycle storage space.

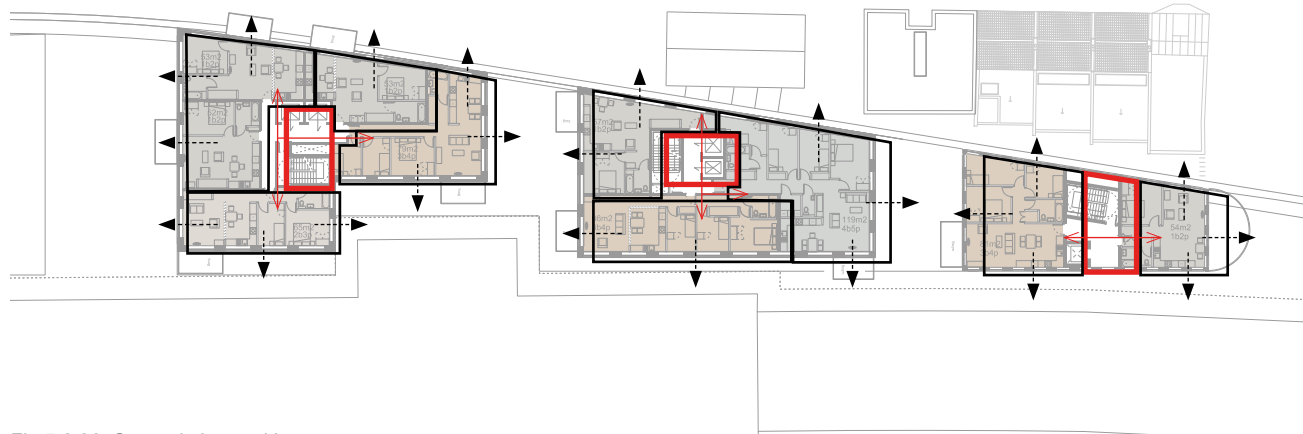


Fig 5.6.30: Strategic Internal Layout

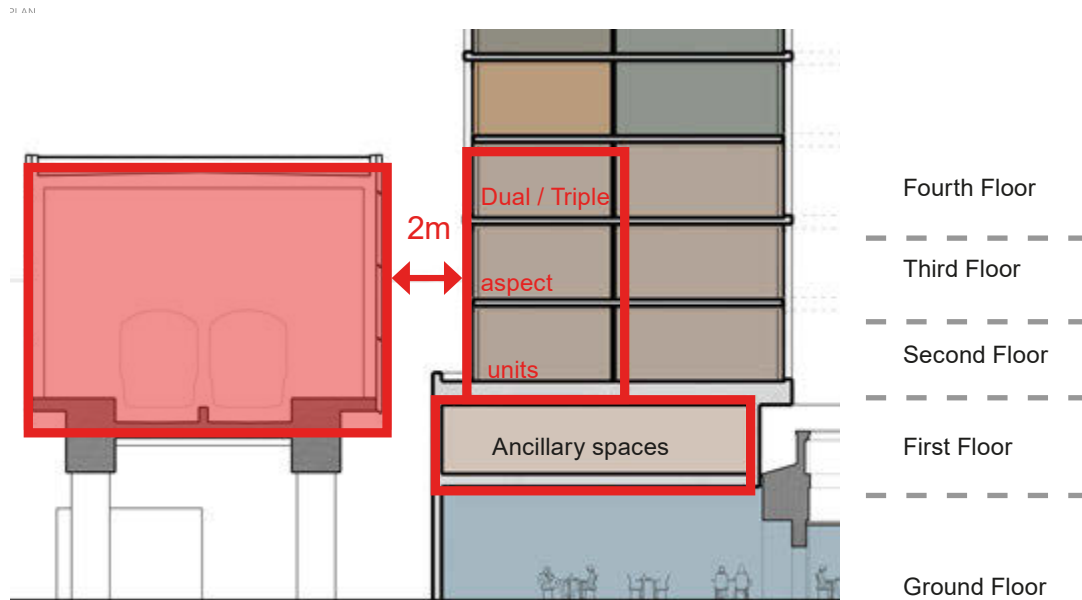


Fig 5.6.31: Section on residential units facing London Overground viaduct

## 5.6.12 Elevations

Shoreditch “[...] is an area of considerable historical interest, with a richly varied and visually compelling architectural legacy of Victorian and Edwardian commercial buildings. Much of the inheritance derives from the area having been a major centre of the furniture trade from the mid-19th century to the mid-20th century” Sir Neil Cossons, Chairman, English Heritage.

Furniture showroom-warehouses share a rather simple architectural vocabulary: Large scale, three to five storeys plain brick facades of regular proportions with large openings to cater for generously lit open plan spaces accommodating a variety of uses.

A base, middle and top arrangement linked directly to the function of the building can be observed. Shop fronts at ground floor followed by up to 3 storeys of showroom with tall windows (the best quality goods being displayed at ground and/or first floor) and stock rooms on the upper floors with shorter windows.

The windows are often grouped with intermediate brick or stone mullions and simple wrought iron or steel lintels spanning the space between the brick piers.

Ornaments were kept to a minimum as these warehouses were used for wholesale purposes rather than retail and were subject to regular changes in occupants. Most of the architectural emphasis was therefore put on the scale, repetition, and proportions of the buildings.

The architecture developed in Plot 5 is largely influenced by the design and proportions of these furniture warehouses, using simple brick and metal detailing to create strong, simple facades.



Fig 5.6.32: Shoreditch warehouse - Paul Street

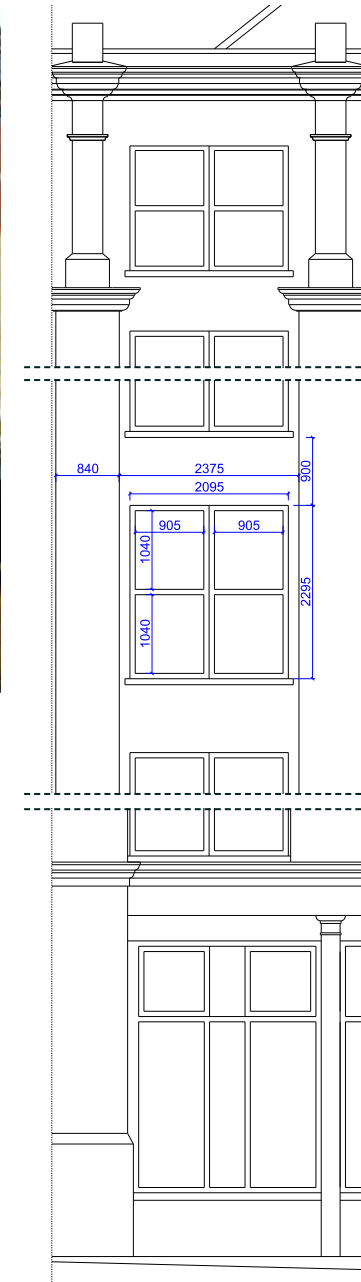


Fig 5.6.33: Paul St bay study



Fig 5.6.34: Shoreditch warehouse - Great Eastern Street

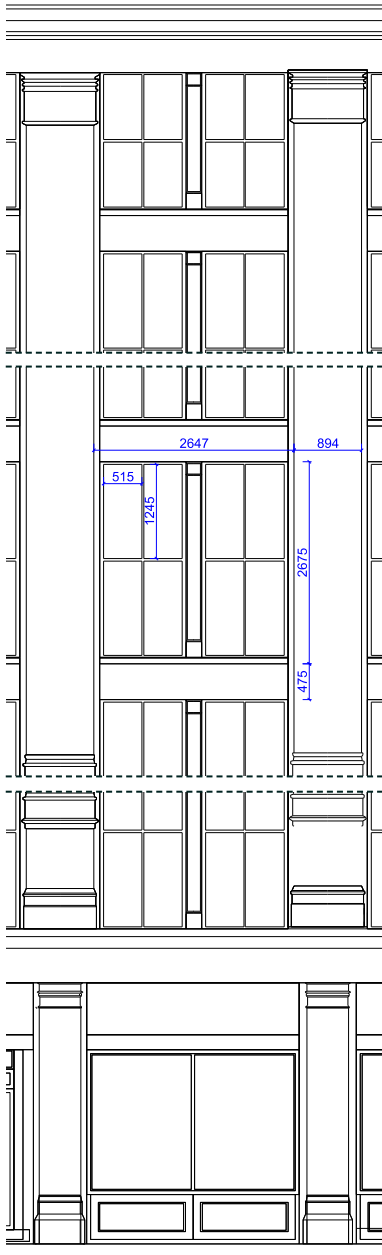


Fig 5.6.35: Great Eastern St bay study



Fig 5.6.36: Shoreditch warehouse - Tea Building

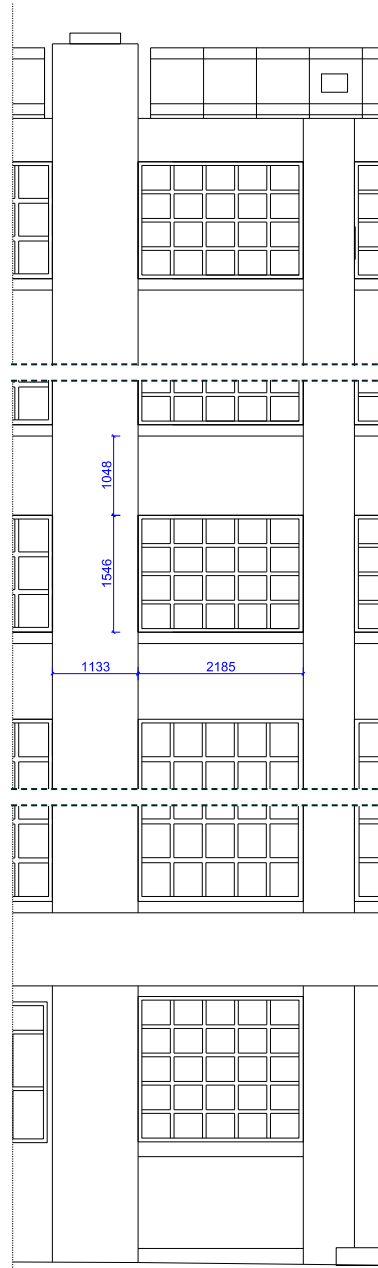


Fig 5.6.37: Tea Building bay study

To inform our block massing, bay proportions and facade layering we have conducted surveys of several warehouses in the Shoreditch area. Some of which can be seen on these pages.

The new buildings on plot 5 can be seen as a development of the brick architecture of the local area, creating a dialogue between the new residential buildings and their industrial ancestors.



### 5.6.13 Waveney - West Block

Inspired by the industrial context of Shoreditch, the two larger buildings on Plot 5 share a simple brickwork architecture which derives from the architecture of furniture showroom-warehouses.

The larger block, Waveney, is divided into two visually separated blocks of different heights. The lower block is nine storeys above ground, the taller block is twelve storeys above ground.

The scale of the building is controlled by grouping the floors vertically into bays of 2 or 3 floors. This gives a more of a human scale to the block. Soldier courses are introduced spanning between brick piers to emphasise these divisions.

Inside these divisions, tall metal frame windows with metal louvered ventilation panels are paired horizontally with intermediate metal mullions inspired by the aesthetics of the furniture warehouses.

Projecting and juliet balconies are made from metal rod balustrades can be found on the North, West and South elevations.

The building will be made from London stock brick with reconstituted stone cappings.

The top of the building is aminated, to respect the language top, middle, bottom and soften the composition of the plot.

On the lower block a metal pergola covers a roof terrace.

Roof top metal signage inspired by the Tea Building sign gives the building a clear identity whilst screening plant enclosures on the roof.

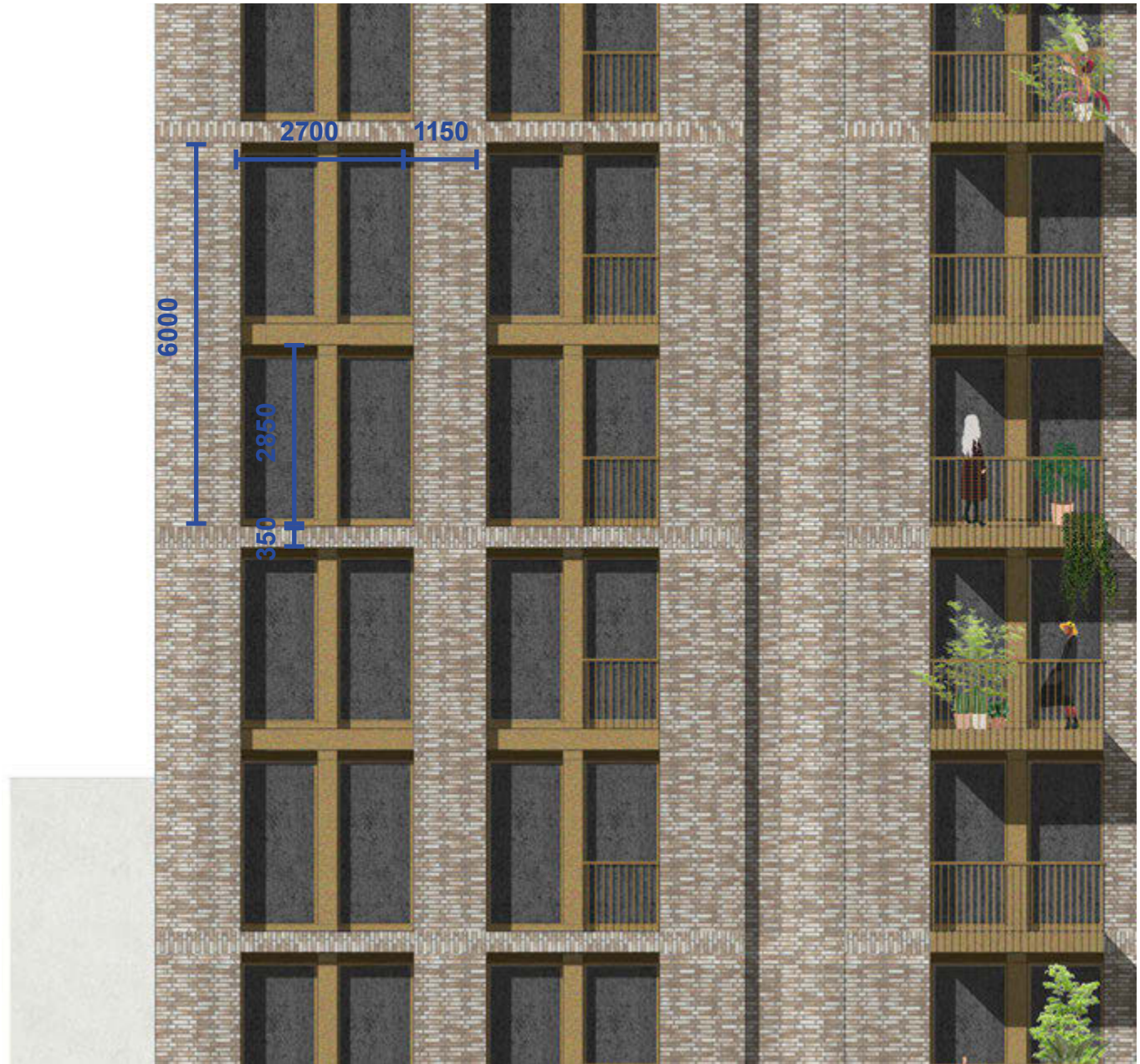


Fig 5.6.38: Illustrative fragment elevation - West Block A



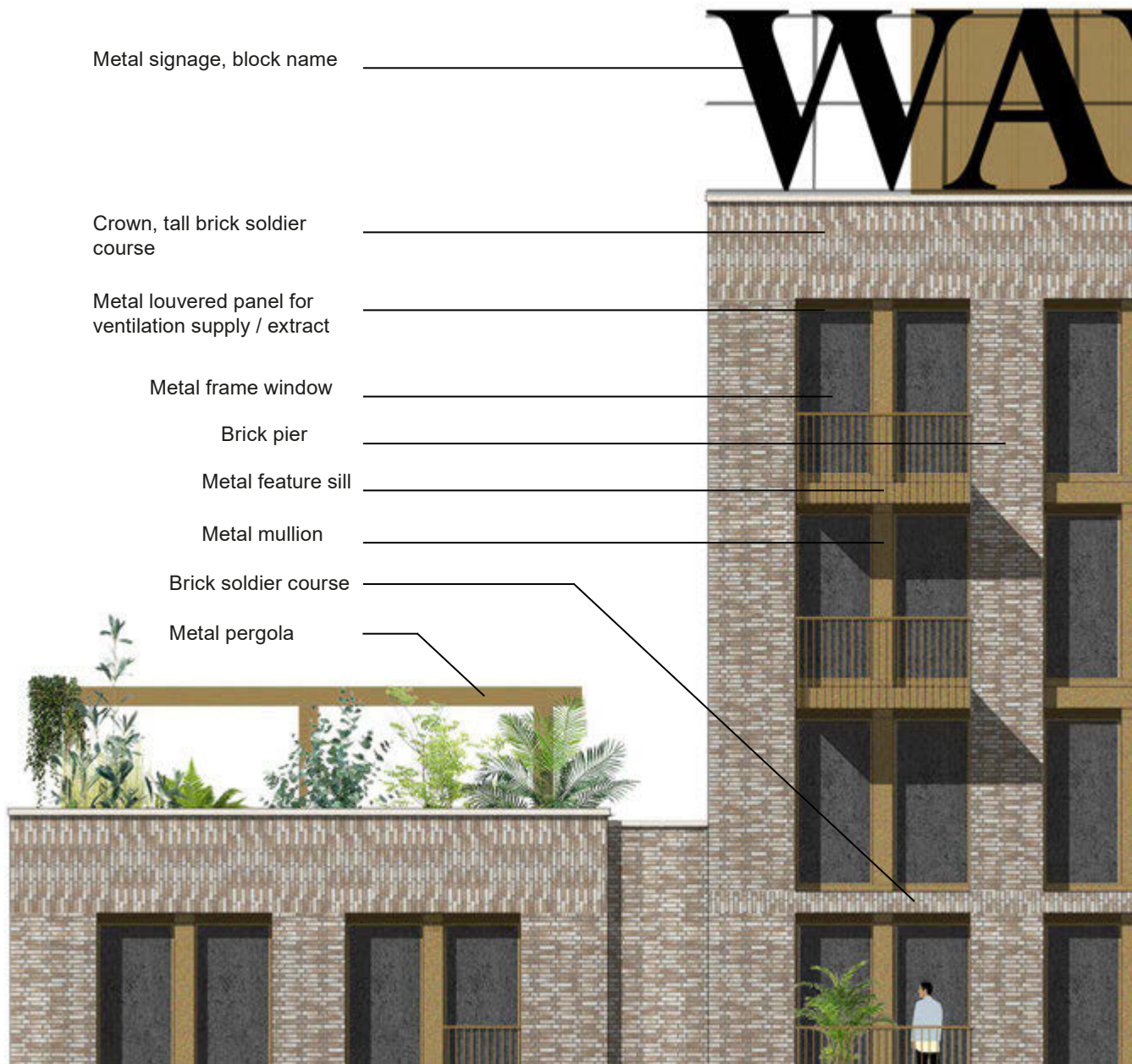


Fig 5.6.39: Illustrative fragment Elevation - West Block B

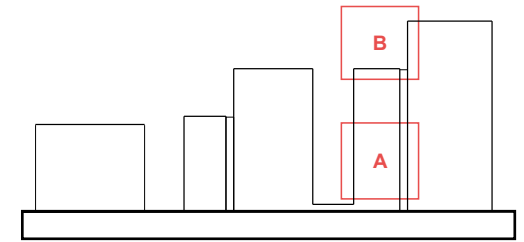


Fig 5.6.40: Illustrative fragment location key



Fig 5.6.41: Precedent: 3-5 Fashion street, Chris Dyson Architects - London stock brick and steel frame windows



#### 5.6.14 Stour - Middle Block

The middle block, Stour, is divided into two visually separated blocks of different heights. The lower block is six storeys above ground, the taller block is nine storeys above ground.

The scale of the building is controlled by grouping the floors vertically into bays of 2 or 3 floors. This gives a more of a human scale to the block. Soldier courses are introduced spanning between brick piers to emphasis these divisions.

Inside these divisions, tall metal frame windows with metal louvered ventilation panels are paired horizontally.

Projecting and juliet balconies are made from metal rod balustrades can be found on the East West and South elevations.

The building will be made from grey/blue brick inspired by engineering blue brick of the boundary wall with reconstituted stone cappings.

The top of the building is aminated, to respect the language top, middle, bottom and soften the composition of the plot.

On the lower block a metal pergola covers a roof terrace.

Roof top metal signage inspired by the Tea Building sign gives the building a clear identity whilst screening plant enclosures on the roof.



Fig 5.6.42: Illustrative fragment elevation - Middle Block A



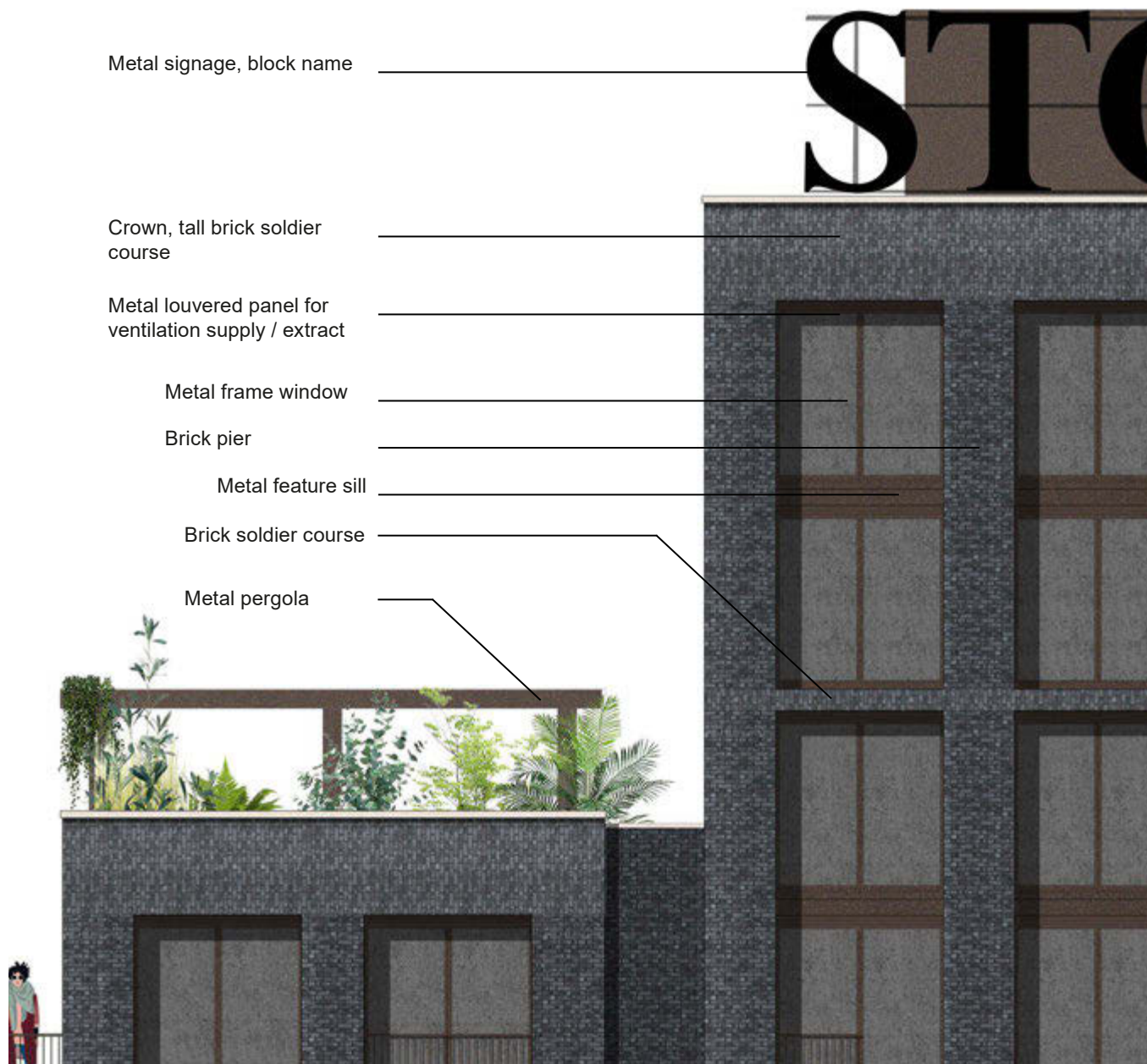


Fig 5.6.43: Illustrative fragment elevation - Middle Block B

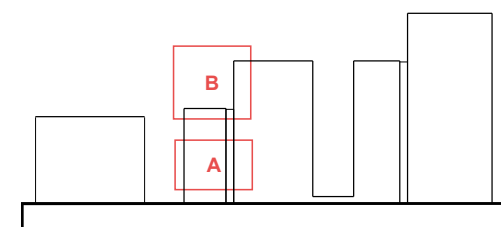


Fig 5.6.44: Illustrative fragment location key

### 5.6.15 Blyth - East Block

The smallest block, Blyth, is proposed to use green glazed bricks. The building's setting behind the Weavers Cottages, results in it being partially screened from the street, appearing in oblique views down the street. The green brick will make the building stand out from its context.

The architecture of the block is directly influenced by the architecture of its immediate neighbours. Brick detailing will include deep reveals and gauged brick arches, both of which can be found on the Weavers Cottages and Victorian Building. However the detailing will be more modern, with set back brick spandrel panels and opening sizes increasing with each floor. This will create a dialogue between the three buildings, based around developments of a common language of details.

The building is five storeys above ground floor.

The roof top play spaces and plant enclosures are proposed to be screened by a tall soldier course to mark the crown of building. The building's name will be built into this brick screen using bricks of a different shade.

Windows and doors are of a bronze coloured metal, as is the capping to the top of the brick wall.

Metal Juliet balconies to the North, metal projecting balconies to East and West will match the windows and doors.

Building name in lighter colour brick

Crown, tall brick soldier course

Gauged brick arch

Metal projecting balcony

Reconstituted stone cill

Brick infill panel

Metal casement window

Metal Juliette balcony



Fig 5.6.45: Illustrative fragment elevation - East Block

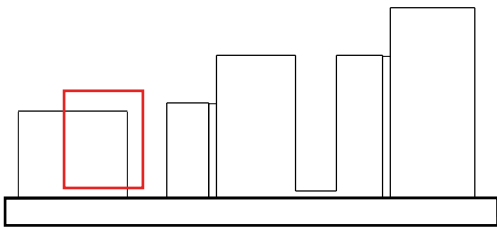


Fig 5.6.46: Illustrative fragment location key



Fig 5.6.47: Precedent: The Queens head, Chris Dyson Architects - Green glazed brick and steel frame windows



Fig 5.6.48: Precedent: The Queens head, Chris Dyson Architects - Green glazed brick and steel frame windows



## 5.6.16 Elevations

### 5.6.17 North:

The adopted strategy of retaining the cluster of historic buildings, putting them to the forefront and setting the new buildings behind the Boundary wall is clearly visible on the North elevation.

The East block, Blyth, continues the architectural language of the Eastern part of Sclater street. It is also of a much smaller scale than the other two blocks so as not to appear too dominant behind the Weavers Cottages.

The break in the massing to accommodate the Victorian Building and give it prominence is also easily identifiable on the North elevation, as well as the entrance to the service yard.

Residential lobbies and commercial shop fronts are located within the Boundary wall with large metal frame doors and windows.

### 5.6.18 South Elevation:

At ground level, the southern part of the plan is accommodated by plant and service space as well as the rear of the retail units which activate the streets to the north, east and west. The majority of the elevation will therefore be solid, perforated or louvred at ground level adjacent to the service route.

Also at the lower levels (up to level 04), the south elevation is adjacent to the East London Line Overground viaduct.

The South elevation continues the architectural language used on the North facade above level 01.

### 5.6.19 East & West Elevations:

The east and west elevations also follow the

same design principles as the north and south elevations, referencing the historic Shoreditch aesthetic.

At ground and first floor levels, retail units overlook the north / south orientated pedestrian street. To reflect this, large double-height glazed windows span between each brick pier to maximise retail frontage and light into the units.



Fig 5.6.49: Brickwork detailing precedents - Chris Dyson Architects

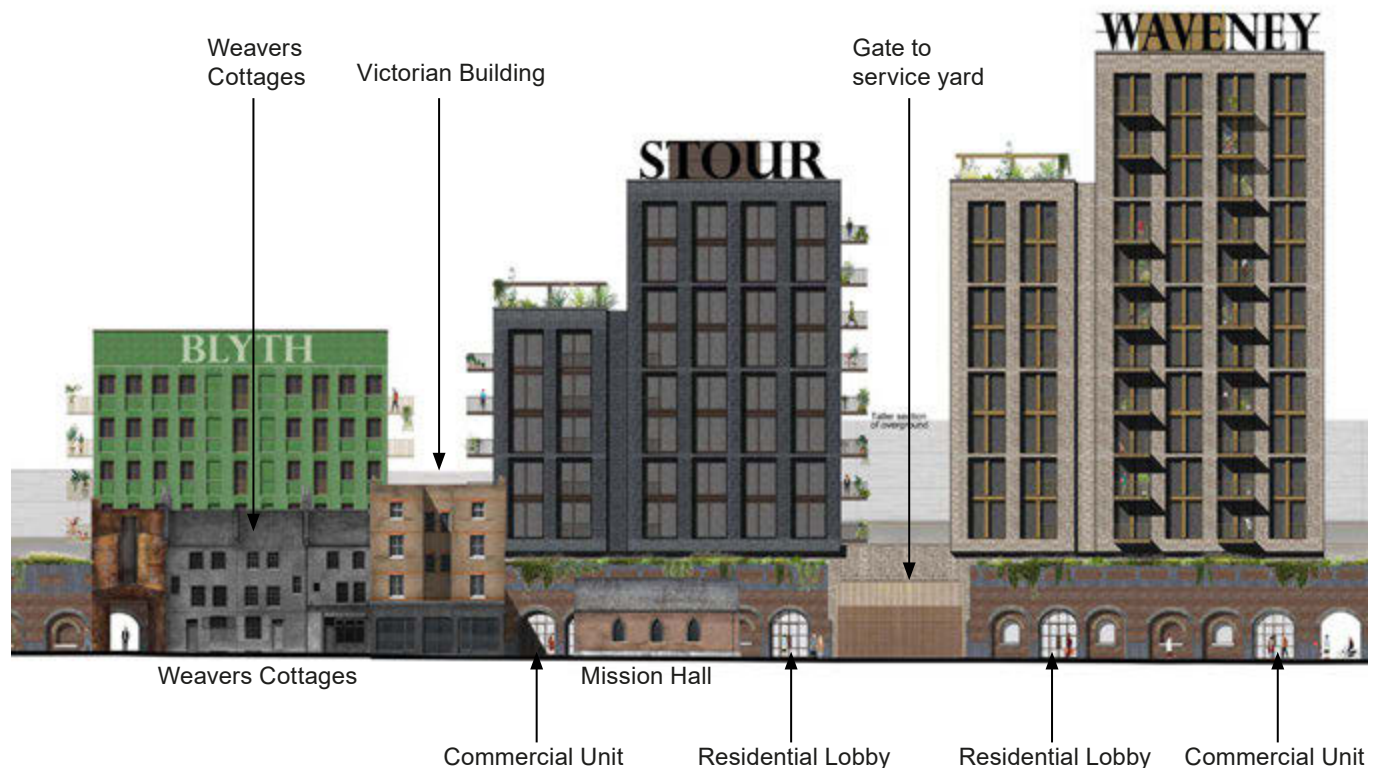


Fig 5.6.50: North Elevation







### 5.6.20 Ground Floor Organisation

The ground floor of the new buildings will be mostly dedicated to retail units and residential lobbies to the North through the existing boundary wall. All back of house to residential and commercial spaces will be located to the South directly connected to the service yard.

To the West, on the new pedestrian route North-South, it is proposed that a Doctors surgery lobby is created.

### 5.6.21 First Floor Organisation

Due to the height of the existing boundary wall to the North and the London Overground Viaduct to the South, the first floor is dedicated to ancillary spaces such as bike stores, M&E plant rooms and commercial unit back of house.

To the West, where natural light can be accommodated an provision for a GP practice has been made with access from a separate lobby at ground floor.

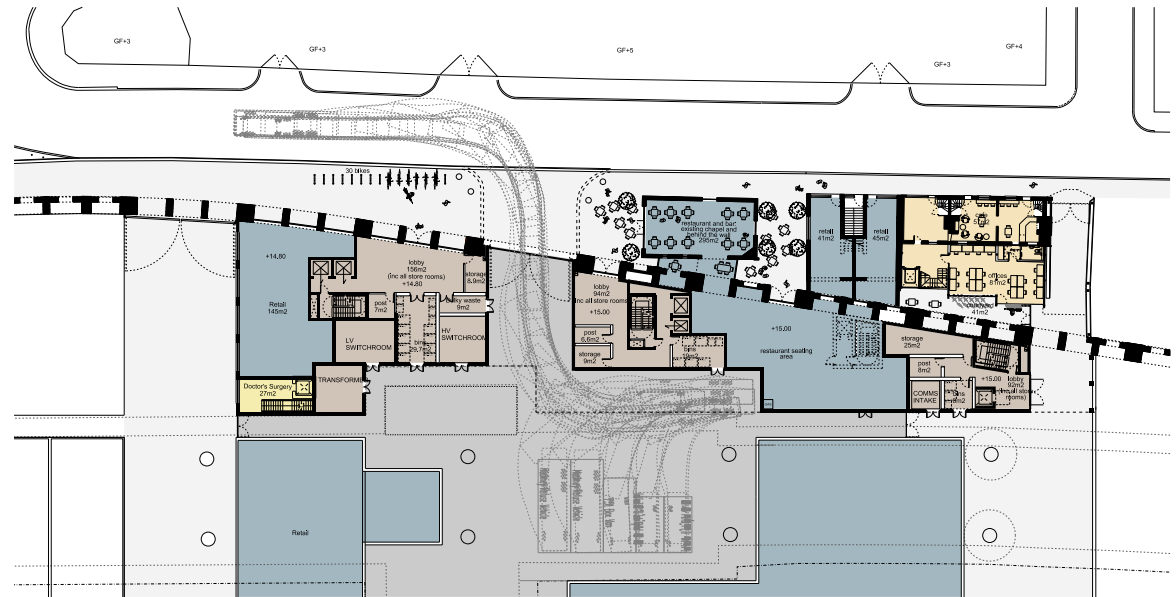


Fig 5.6.52: Ground Floor Plan

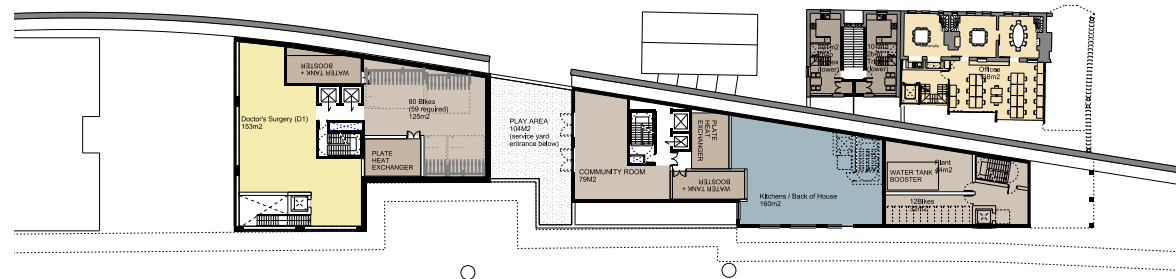


Fig 5.6.53: First Floor Plan



Fig 5.6.54: Second to Fourth Floor Plan

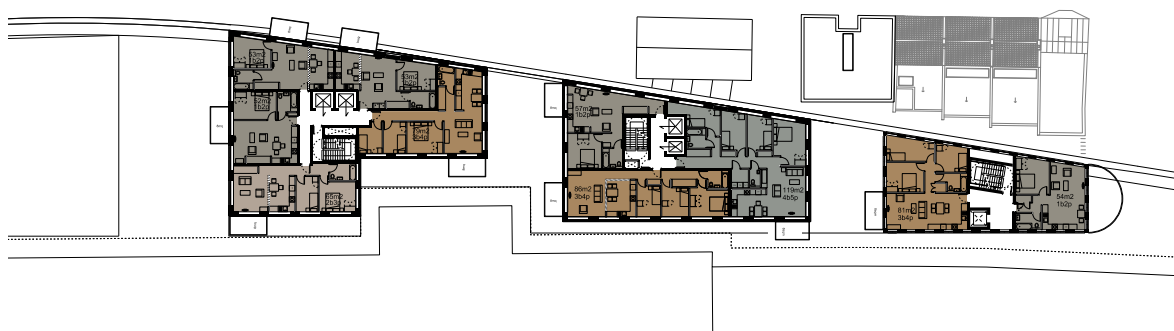


Fig 5.6.55: Fifth Floor Plan

### 5.6.22 Typical Lower Floor Organisation

The second to fourth floors can contain residential along all sides.

In the middle block, Stour, a provision for cycle storage is made at second and third floor facing the Overground viaduct.

Due to the close proximity of the London Overground viaduct, the floor plan has been arranged so that no flat will be single aspect South facing.

All living areas (except for 1 bed units) will benefit from dual aspect and balconies have been placed to offer the best outlook.

### 5.6.23 Typical Upper Floor Organisation

From fifth floor upwards, above the London Overground viaduct, the floor plates is entirely residential. The layout has been re-arranged to allow for larger units with dual to triple aspect.

Balconies have also been re-organised to offer more South facing views.

#### 5.6.24 Crown Organisation

The stepped massing creates different level roof tops that will be animated by roof terraces or play areas.

All roofs levels are emphasised by tall soldier courses and signage identifying each building whilst concealing all necessary plant.

#### 5.6.25 Play Space

The West block, Waveney, will benefit from a play area on the lower roof connected with a community room (tenth floor) overlooked by the taller part of the building for maximum security.

The middle block, Stour, has its play area located at first floor over the service year entrance behind the Boundary wall. It will also benefit from a community room and be largely overlooked by both buildings.

Blyth, because of its much smaller scale and reduced amount of units, will not have a community room. The play area has been located on the roof where it will be overlooked by the larger buildings.

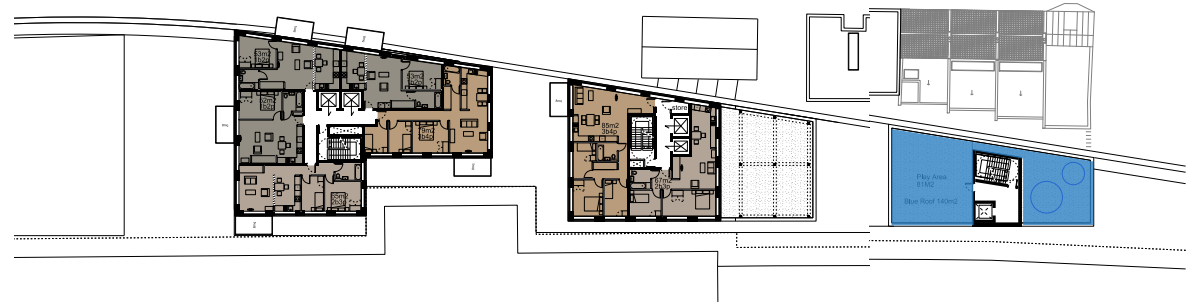


Fig 5.6.56: Seventh Floor Plan

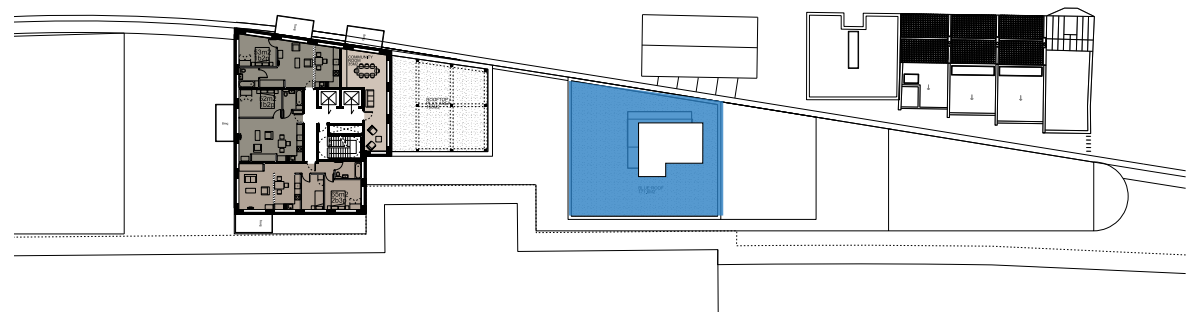


Fig 5.6.57: Tenth Floor Plan - Play Area



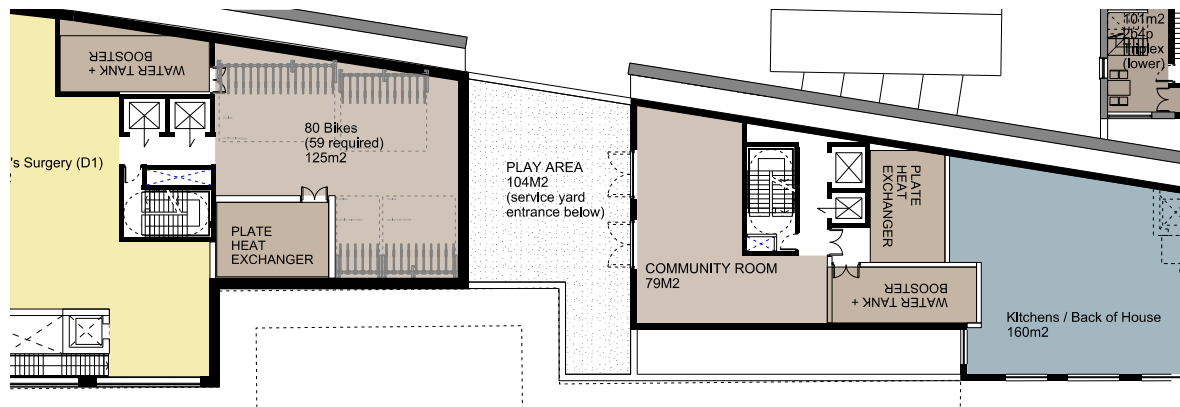


Fig 5.6.58: First Floor Play Area

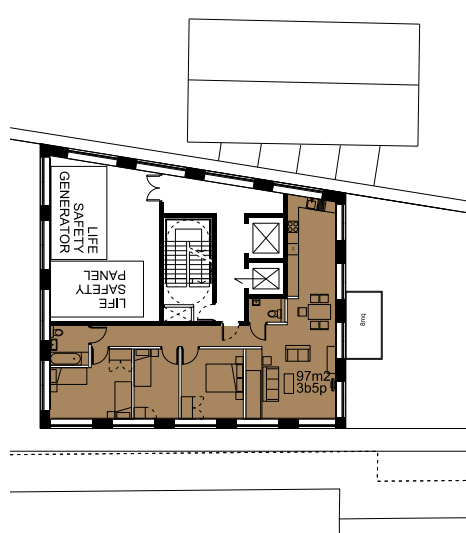


Fig 5.6.59: Ninth Floor Plan - Plant Room

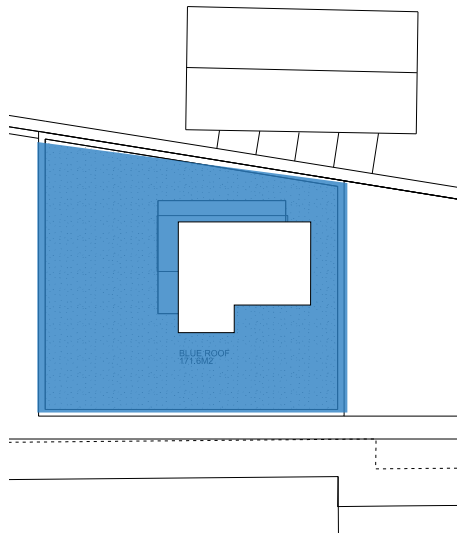


Fig 5.6.60: Tenth Floor Plan - Roof Top Smoke Extract

### 5.6.26 Roof top Plant Spaces

The roof tops that have not been designated as play area will be allocated to M&E plant.

Plant is proposed to be located on the ninth floor of the middle block so as to provide more area for blue roofs.

### 5.6.27 Biodiverse roofs

The flat roofs covering the service yard and between the two smaller buildings are proposed to be treated as green and/or brown roofs.